

NOTES:
ELECTRICAL, MECHANICAL, HYDRAULIC AND A/C EQUIPMENT IS HOUSED SO THAT IT DOES NOT CREATE AN OFFENSIVE NOISE.

ALL BUILDING WORKS HAVE TO BE COMPLY WITH THE BAC AND BASIX COMMITMENTS.

STREET

ECCLES

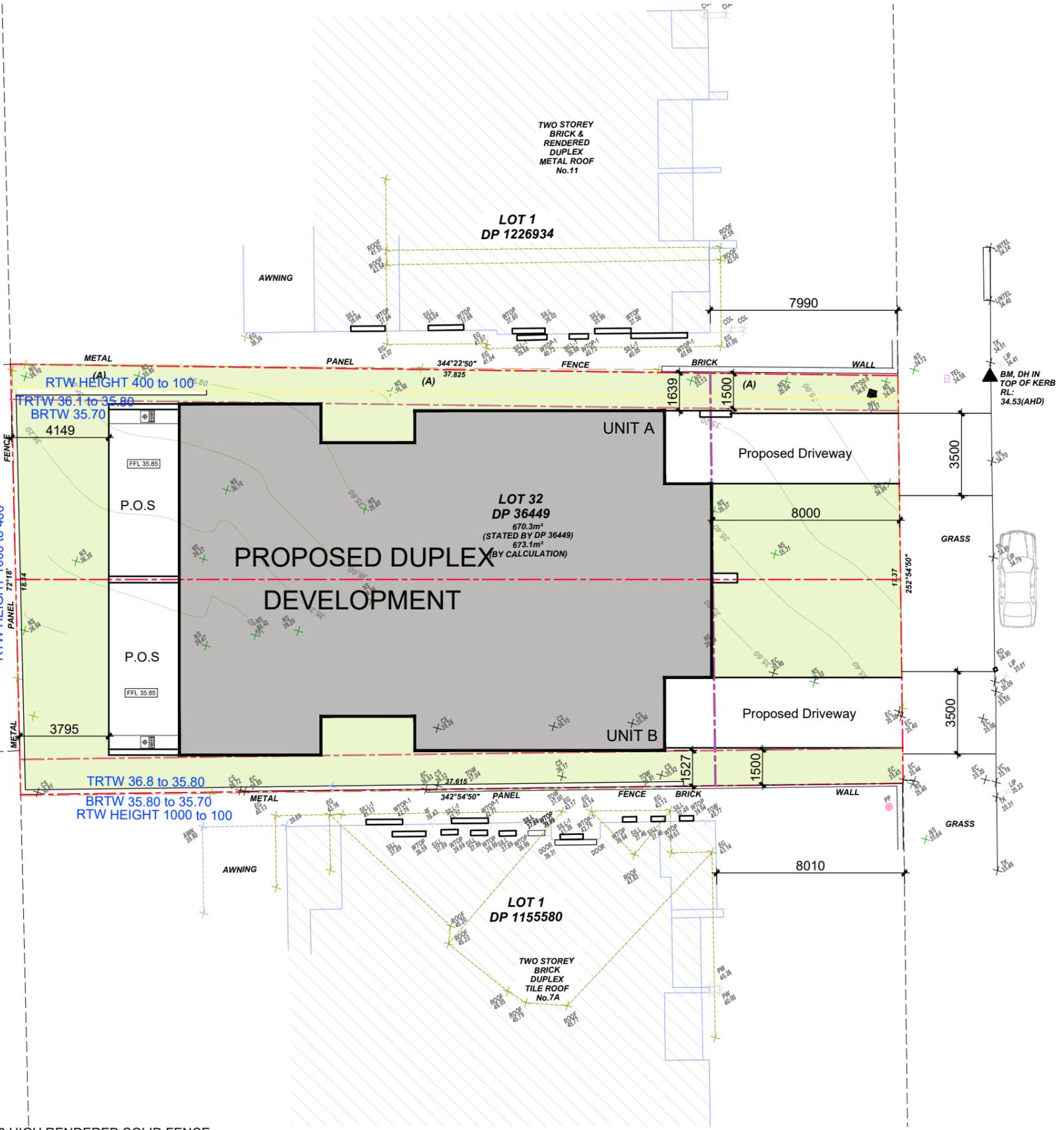
SITE DATA

Total Site Area:	673.1 m ²		
	Unit A	Unit B	
Proposed Lot Size:	336.97m ²	336.13m ²	
Ground Floor Area:	121.8m ²	121.8m ²	243.6 m ²
First Floor Area:	112.3m ²	112.3m ²	224.6 m ²
Gross Floor Area:			468.2 m ² (max. 468.3m ²)
Additional Area:			
Balc, Porgola, Patio	30.7 m ²	30.7 m ²	61.4 m ²
Garage Floor Area:	18 m ²	18 m ²	36 m ²
Landscaping area:	261.5 m ² (91.5 m ² in front of the building line)		

LOT 1
DP 1240282

LOT 45
DP 36449

LOT 44
DP 36449



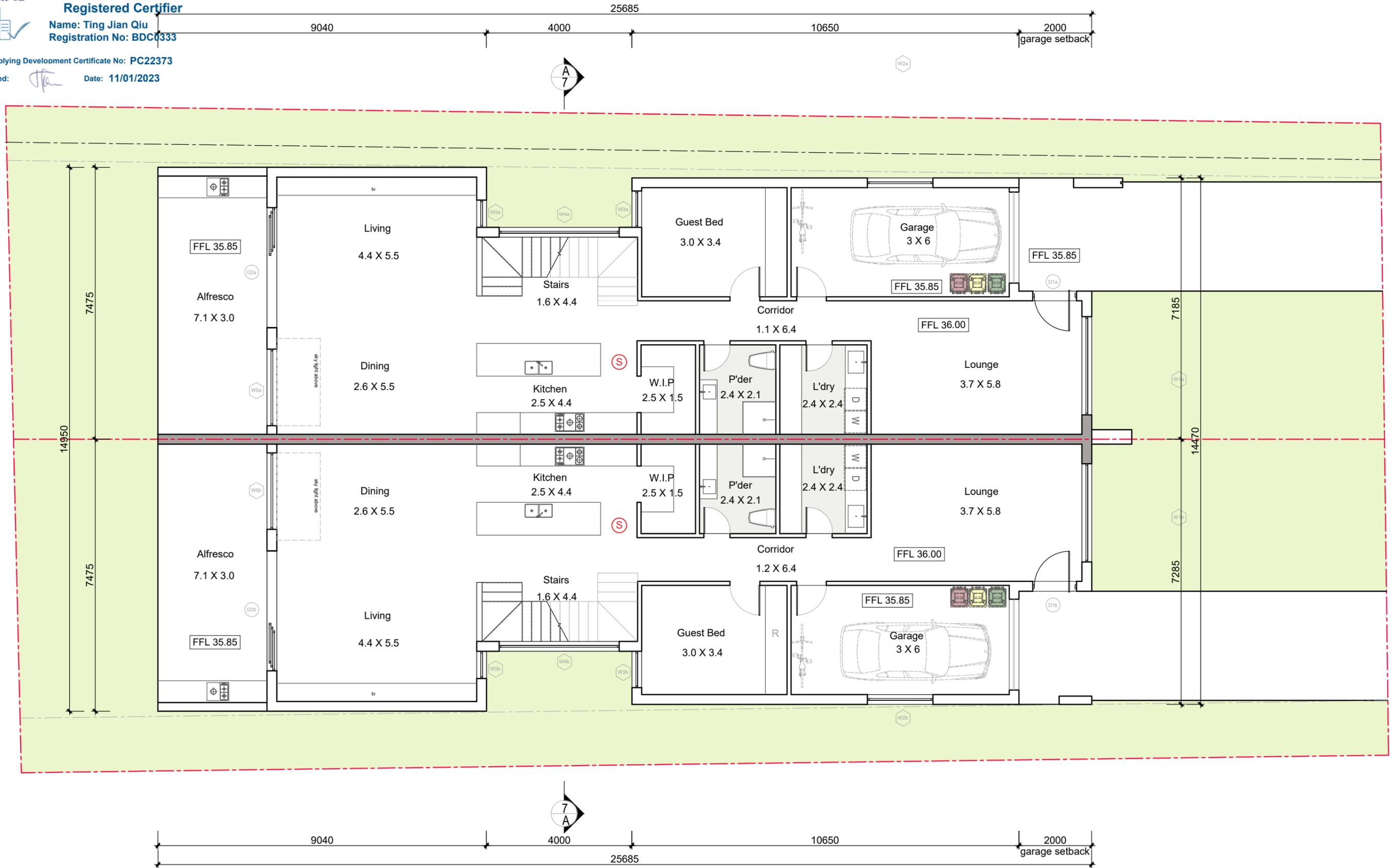
GENERAL NOTES:
ALL DIMENSIONS SUBJECT TO VERIFICATION PRIOR TO EXECUTIONS OF WORK.
DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION
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9 ECCLES ST
ERMINGTON NSW
LOT32 DP36449

SITE PLAN		Rev.
scale: 1:200 @A3	date: 28/10/2022	CDC
drawing no. 01		





30650

8240

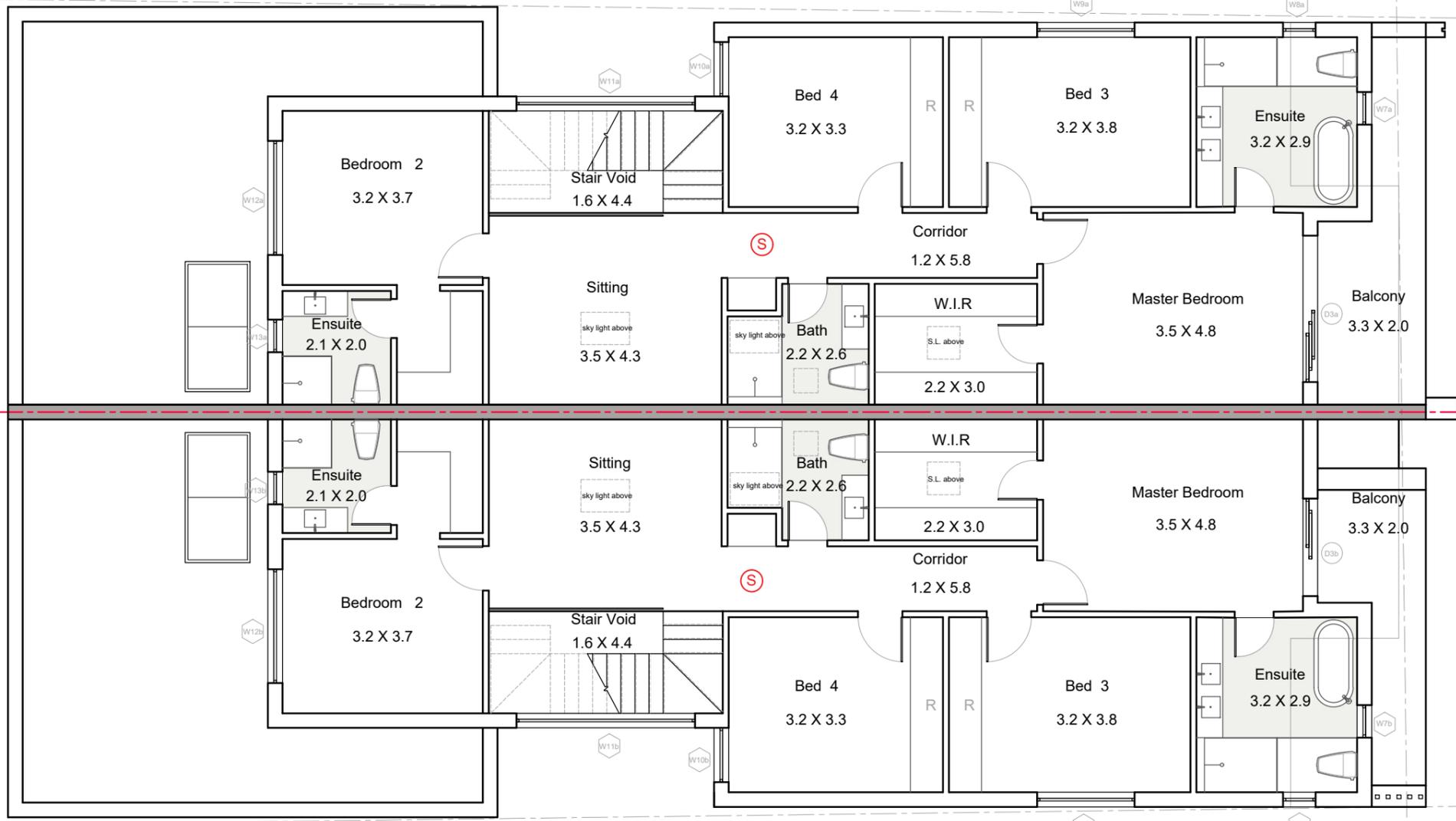
13500



1650

11650

1650



8635

first floor rear setback

8240

13150

30025



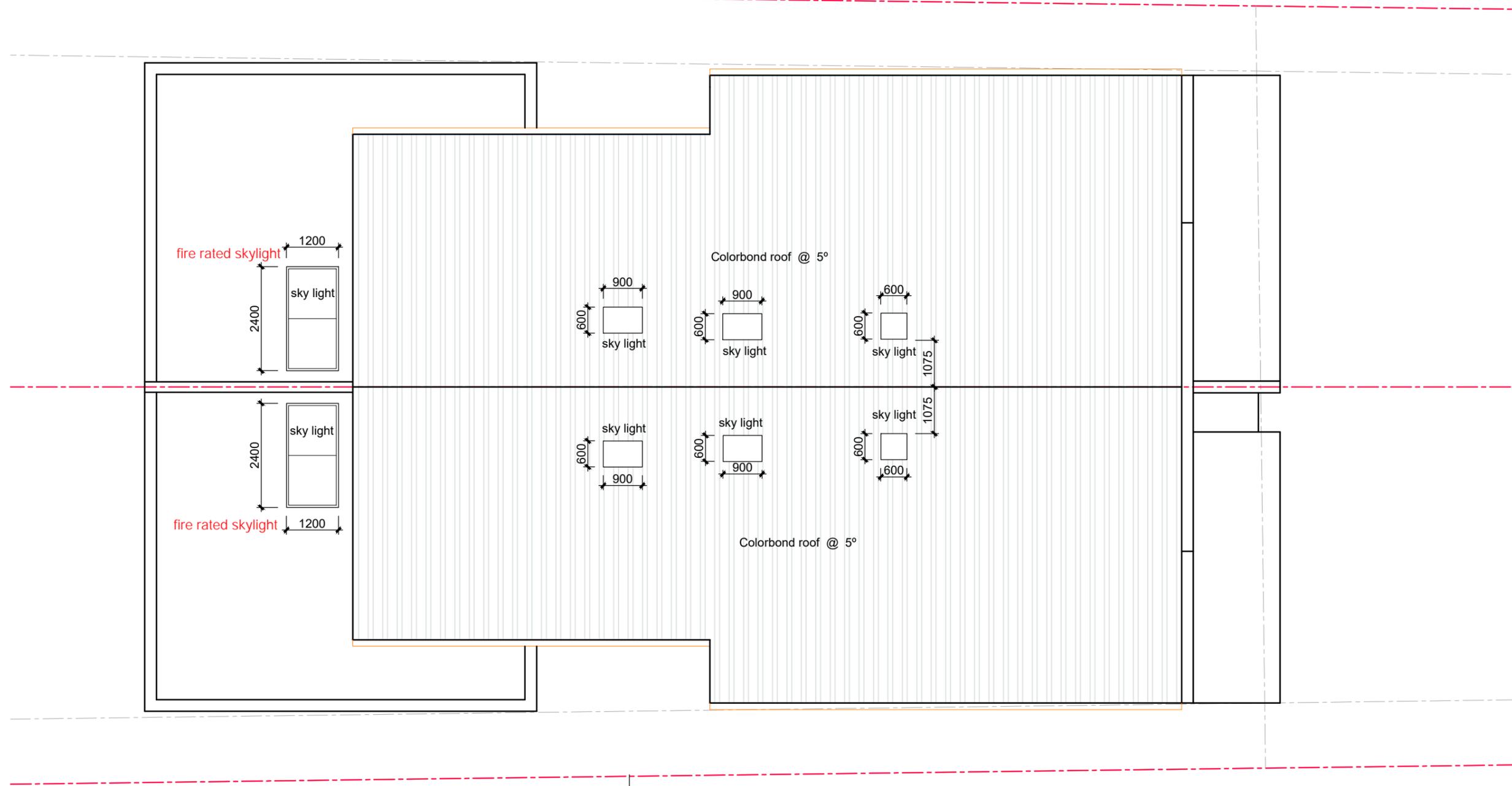


ACE Building Approvals
Registered Certifier

Name: Ting Jian Qiu
Registration No: BDC0333

Complying Development Certificate No: PC22373

Signed:  Date: 11/01/2023



G5 STUDIO

ABN: 26 619 558 833
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9 ECCLES ST
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ROOF PLAN

scale: 1:100 @A3	date: 07/01/2022
drawing no. 04	

Rev.
CDC





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Registered Certifier

Name: Ting Jian Qiu
Registration No: BDC0333

Complying Development Certificate No: PC22373
1515

Signed: *[Signature]* Date: 11/01/2023

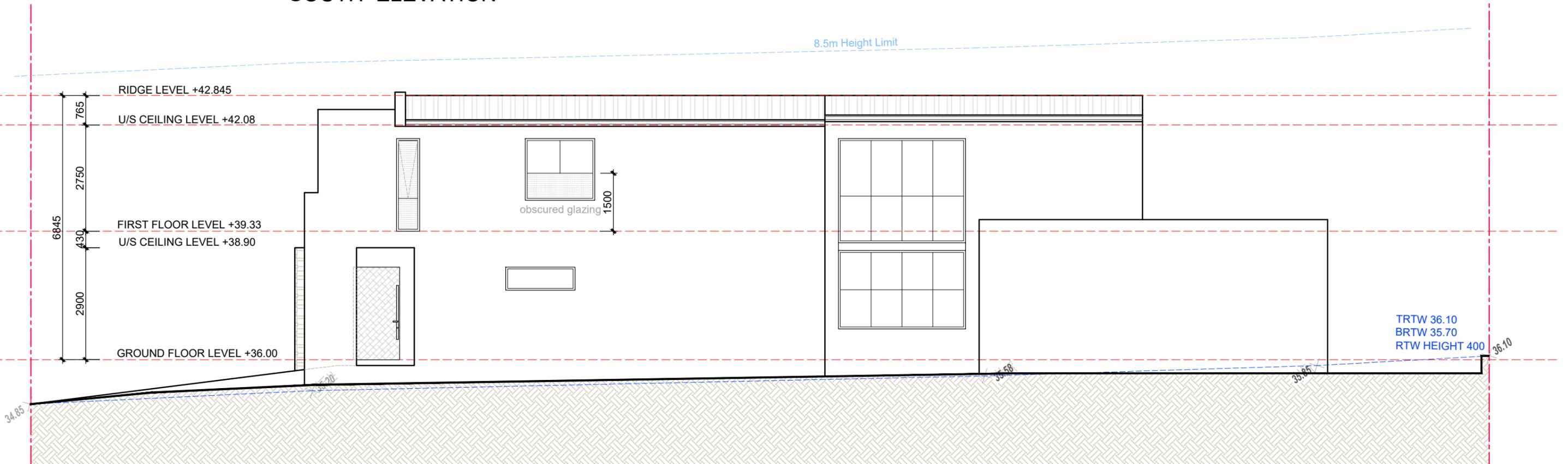
8.5m Height Limit

$(7220-4500)/4+900 = 1580$



SOUTH ELEVATION

8.5m Height Limit



EAST ELEVATION

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ELEVATIONS

scale: 1:100 @A3	date: 28/10/2022	Rev.
drawing no. 05		CDC



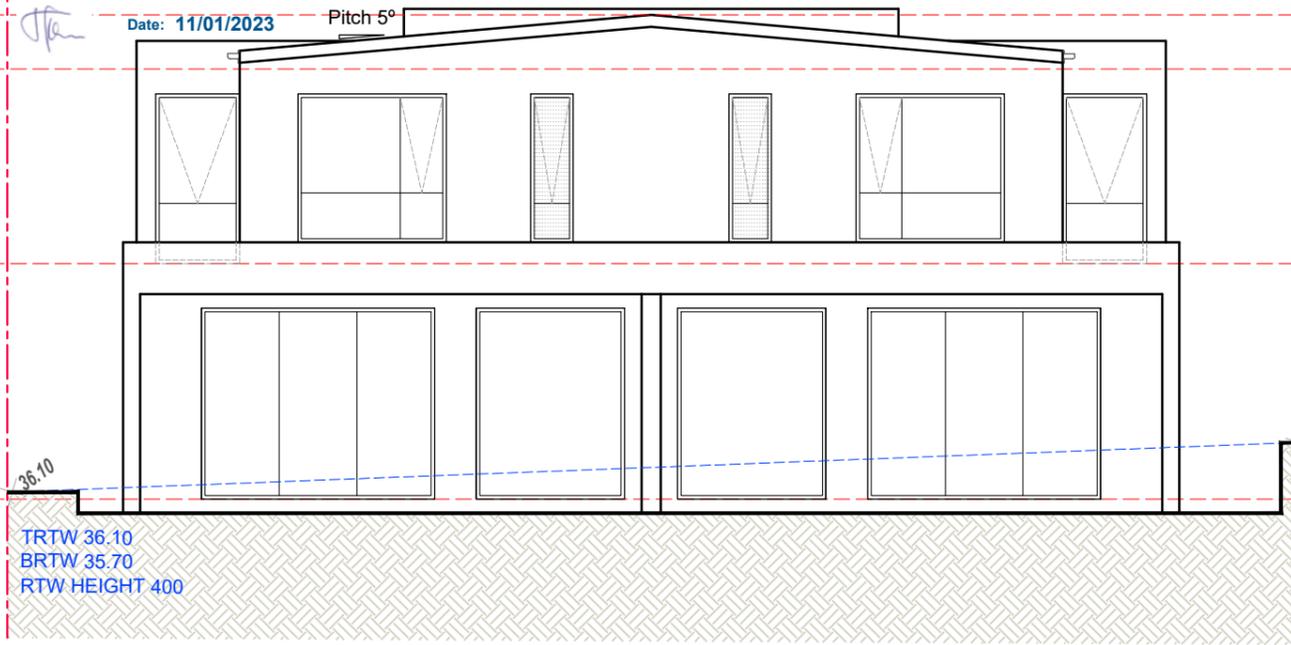


ACE Building Approvals 8.5m Height Limit
Registered Certifier

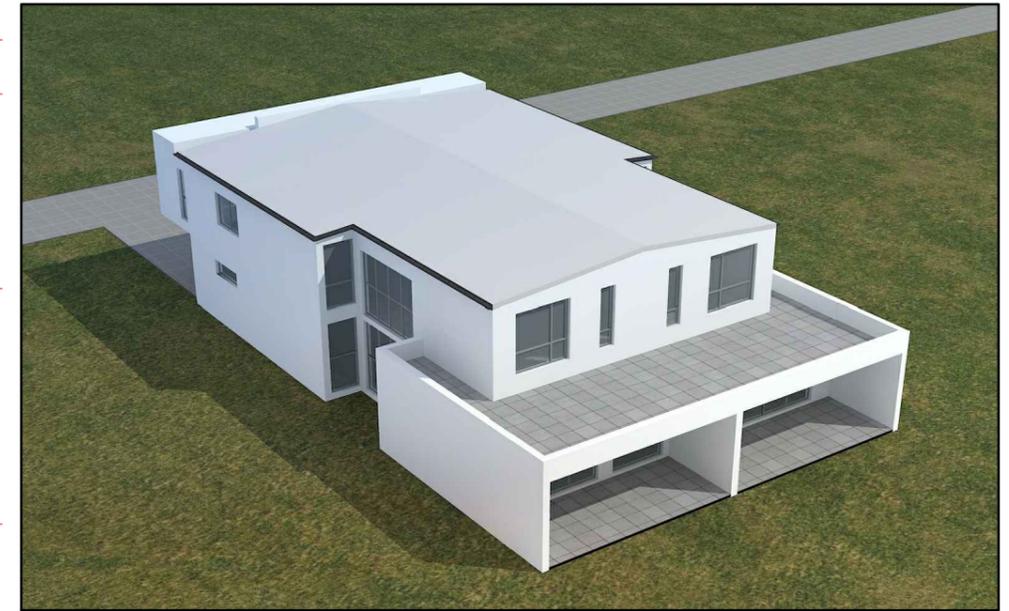
Name: Ting Jian Qiu
 Registration No: BDC0333

Complying Development Certificate No: PC22373

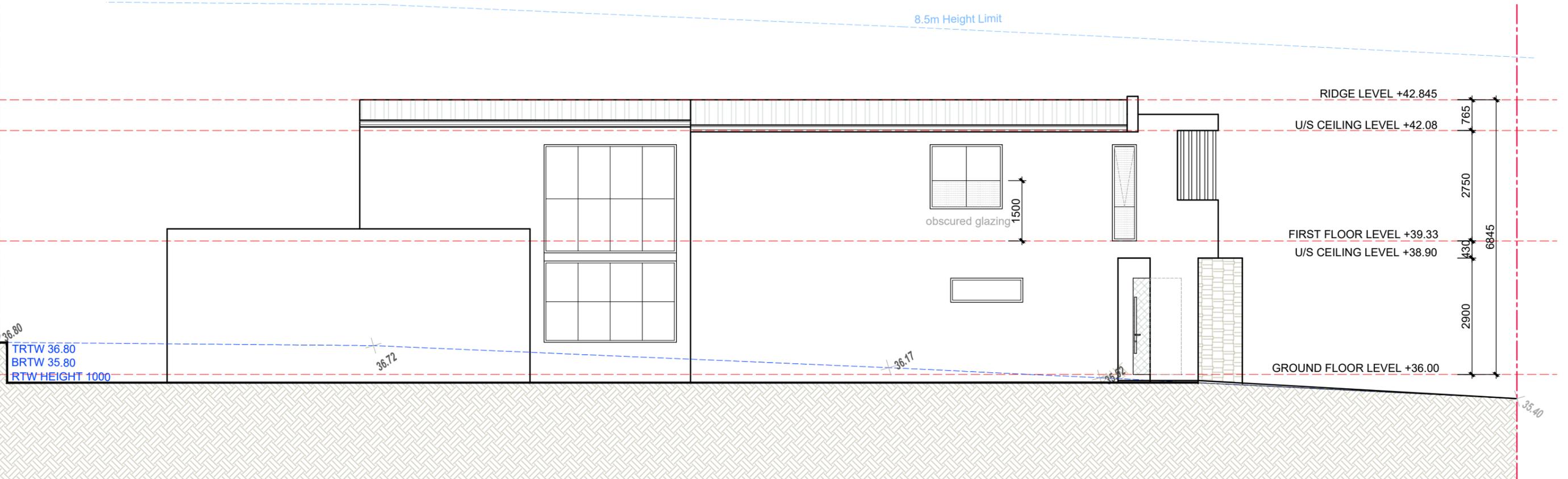
Signed: *[Signature]* Date: 11/01/2023 Pitch 5°



RIDGE LEVEL +42.845
 U/S CEILING LEVEL +42.08
 765
 2750
 6845
 430
 FIRST FLOOR LEVEL +39.33
 U/S CEILING LEVEL +38.90
 2900
 36.80
 GROUND FLOOR LEVEL +36.00
 TRTW 36.80
 BRTW 35.70
 RTW HEIGHT 900



NORTH ELEVATION



8.5m Height Limit
 RIDGE LEVEL +42.845
 U/S CEILING LEVEL +42.08
 765
 2750
 6845
 430
 FIRST FLOOR LEVEL +39.33
 U/S CEILING LEVEL +38.90
 2900
 36.80
 TRTW 36.80
 BRTW 35.80
 RTW HEIGHT 1000
 36.72
 36.17
 35.2
 35.40
 GROUND FLOOR LEVEL +36.00

WEST ELEVATION

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LOT32 DP36449

ELEVATIONS

scale: 1:100 @A3	date: 28/10/2022	Rev. CDC
drawing no. 06		



TIMBER ROOF FRAMING CONSTRUCTION
AS SPECIFIED BY TRUSS COMPANY
IN COMPLIANCE WITH THE AS1684.4&BCA

8.5m Height Limit

DOUBLE BRICK 60/60/60 RARTY FIREWALL
TO COMPLY WITH BCA REQUIREMENTS

UNIT A

UNIT B

RIDGE LEVEL +42.845

U/S CEILING LEVEL +42.08

FIRST FLOOR LEVEL +39.33

U/S CEILING LEVEL +38.90

GROUND FLOOR LEVEL +36.00

RENDERED BRICK VENEER EXTERNAL WALL

CONCRETE SLAB TO FIRST FLOOR

PLASTERBOARD CEILING LINING

PLASTERBOARD ON STUDS INTRENAL WALL

ALUMIMUN FRAMED WINDOWS

35.58

Natural Ground Line shown dotted

FOOTING & CONCRETE SLAB AS PER ENGINEER'S DETAILS AND SPECIFICATIONS

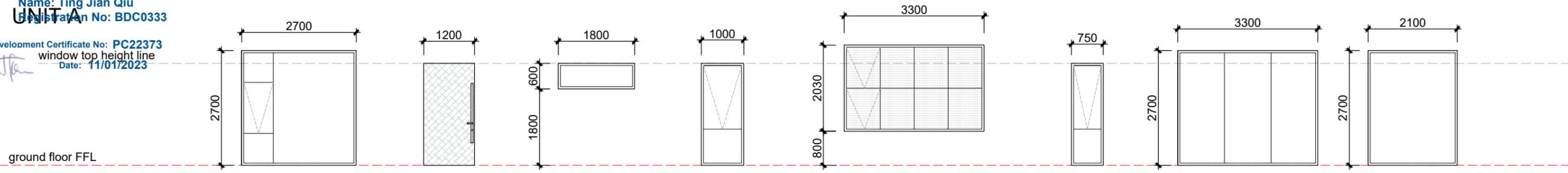
36.32

765
2750
430
2900
6845

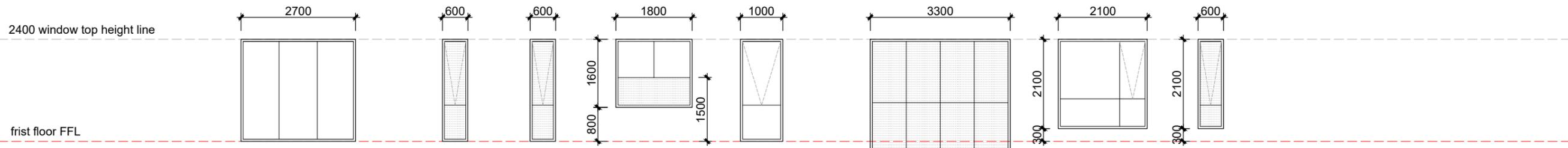
SECTION AA

BASIX commitments for both units:

- Light coloured metal roof
- Foil + R1.3 insulation blanket under metal roof (Anticon or equiv)
- R4.0 insulation to all 1st floor ceilings
- R3.0 insulation to lounge ceiling with balcony/outdoor air above & living/dining ceiling with concrete roof above
- Downlights which penetrate the ceiling to be sealed & rated to be covered with insulation
- Sealed exhaust fans
- R1.0 insulation to all cavity brick external walls except the garage
- Weather stripping to all external doors & windows
- All fixed & sliding windows & glazed sliding doors to have specs Uw 5.4 or less & SHGCw 0.58 +/-10% (aluminium frame, single glazed, high solar gain low-e glass)
- All awning windows to have specs Uw 5.4 or less & SHGCw 0.49 +/-10% (aluminium frame, single glazed, high solar gain low-e glass)
- All skylights to be generic single glazed clear
- Min. 3 star (7.5-9 l/min) shower heads
- Min. 4 star toilets
- Min. 4 star bathroom & kitchen taps
- Min. 2,300 litre rainwater tank collecting water from min. 50 sqm of roof & supplying all toilets, laundry & an outdoor tap
- Min. 5.0 star instantaneous gas hot water unit
- Min. 3 star (old label) 1-phase reverse cycle air conditioning throughout
- Air conditioning to have day/night zoning between living & bedroom areas
- Bathrooms, kitchen & laundry to have exhaust fans ducted to facade or roof with manual on/off control
- LED or fluorescent lighting throughout
- There must be a window or skylight in at least 3 bathroom/toilets for natural lighting
- Kitchen to have a gas cooktop & electric oven
- Fixed outdoor clothes drying line

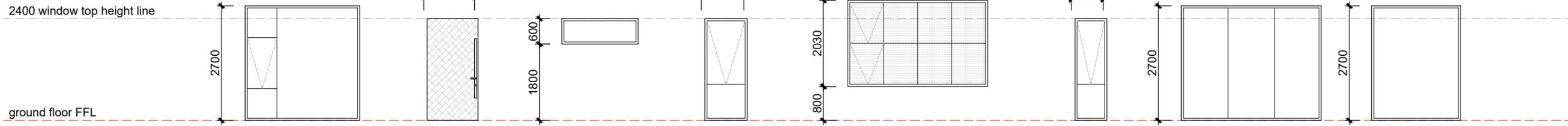


W1a D1a W2a W3a W4a obscured glazing W5a D2a W6a

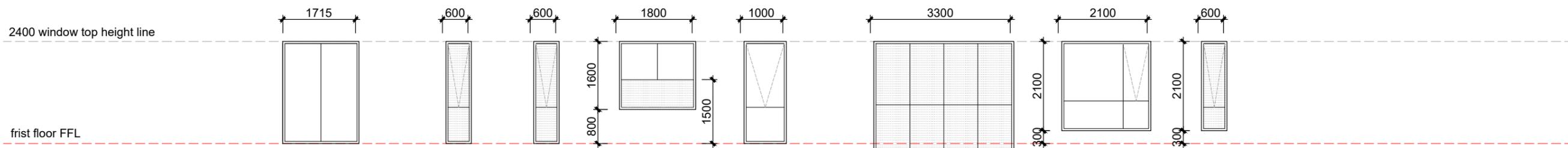


D3a W7a obscured glazing W8a obscured glazing W9a W10a W11a obscured glazing W12a W13a obscured glazing

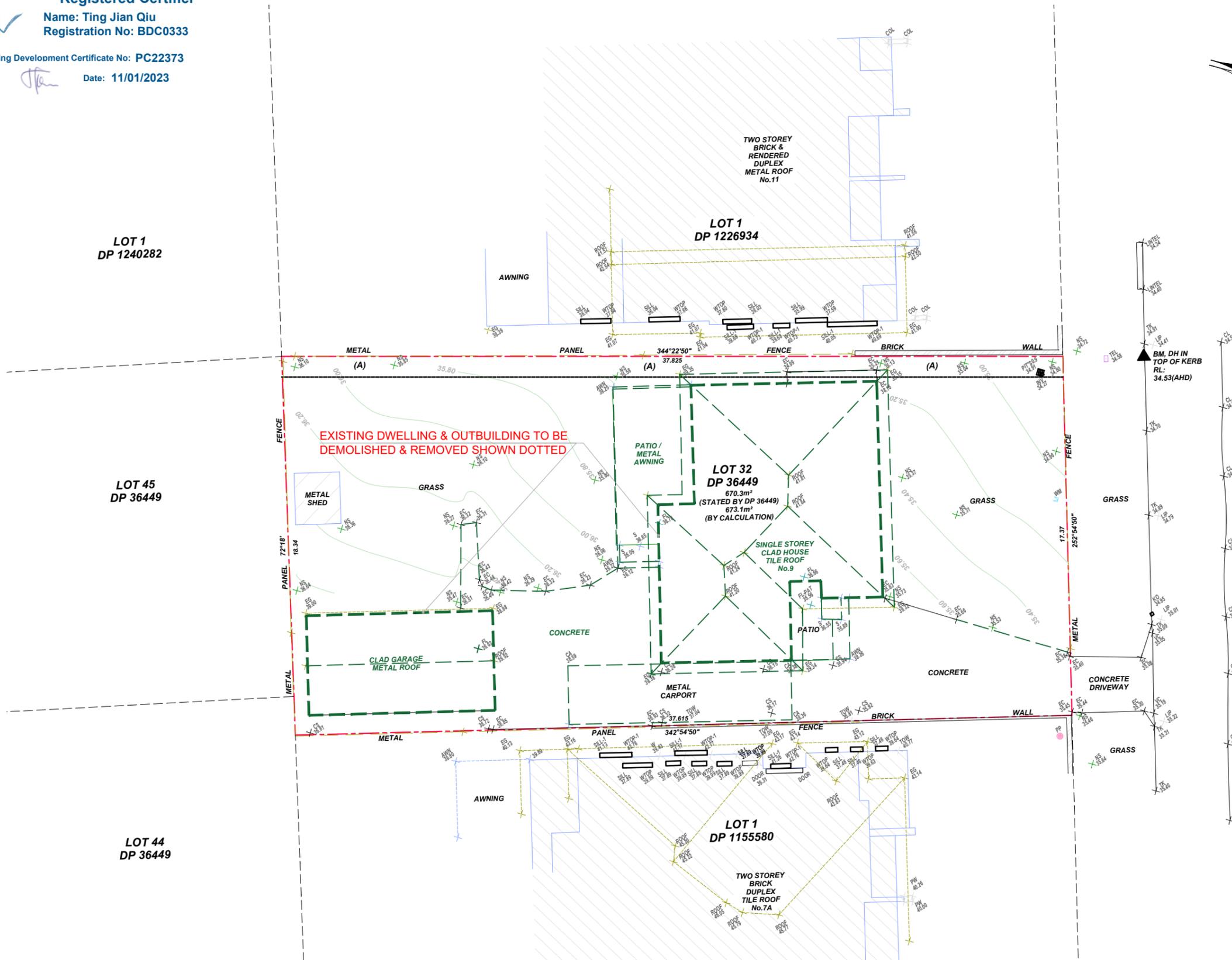
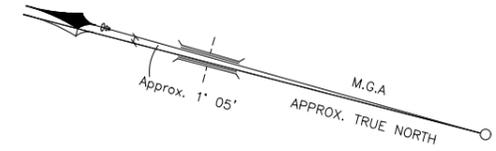
UNIT B



W1b D1b W2b W3b W4b obscured glazing W5b D2b W6b



D3b W7b obscured glazing W8b obscured glazing W9b W10b W11b obscured glazing W12b W13b obscured glazing



STREET
ECCLES

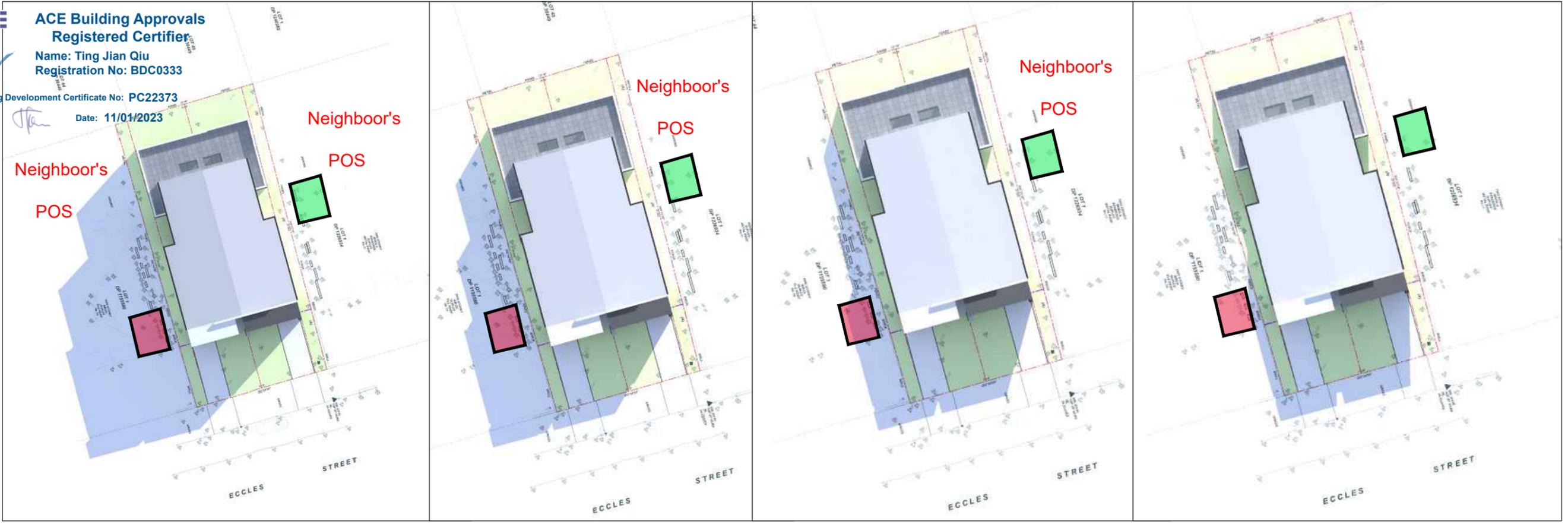


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Registered Certifier**

Name: Ting Jian Qiu
Registration No: BDC0333

Complying Development Certificate No: PC22373

Signed: *TJQ* Date: 11/01/2023



9:00 am

10:00 am

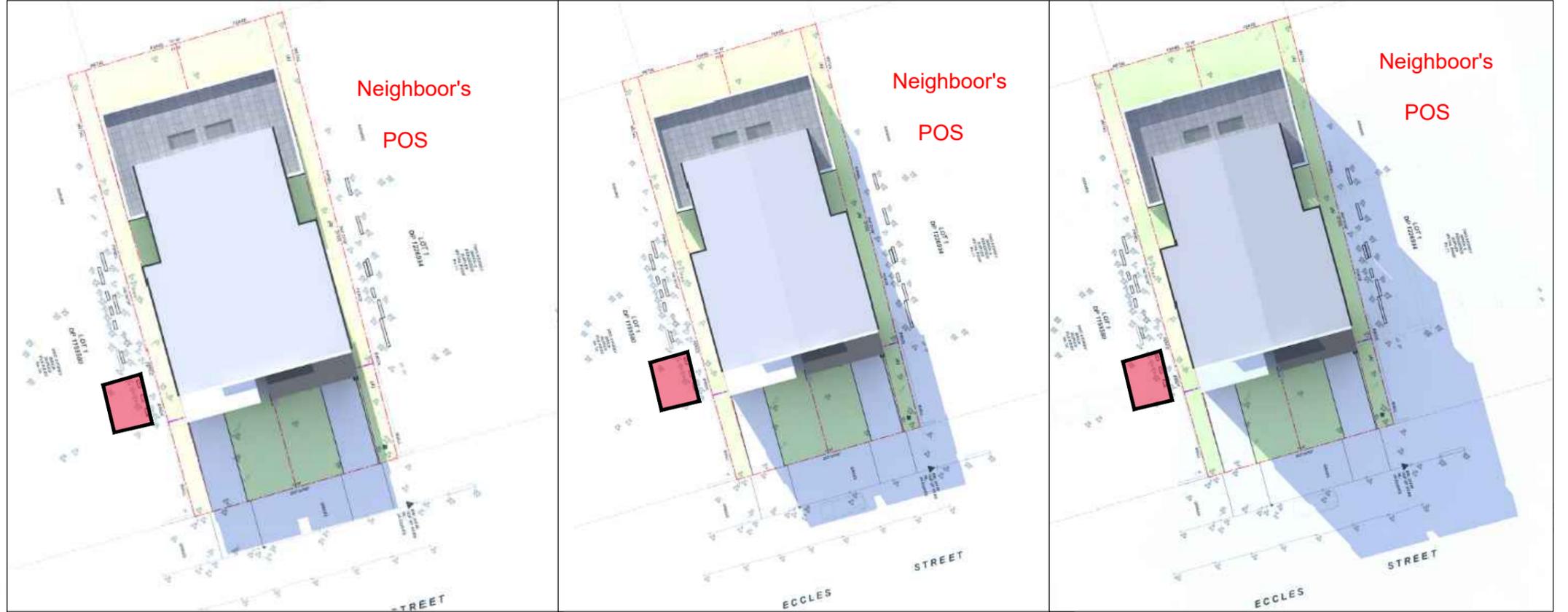
11:00 am

12:00 noon



7A ECCLES STREET, ERMINGTON

7A LIVING ROOM 9 LIVING ROOM



13:00 pm

14:00 pm

15:00 pm

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9 ECCLES ST
ERMINGTON NSW

LOT32 DP36449

SHADOW DIAGRAMS

scale:	@A3	date:	28/10/2022
drawing no.	10		

Rev.
CDC





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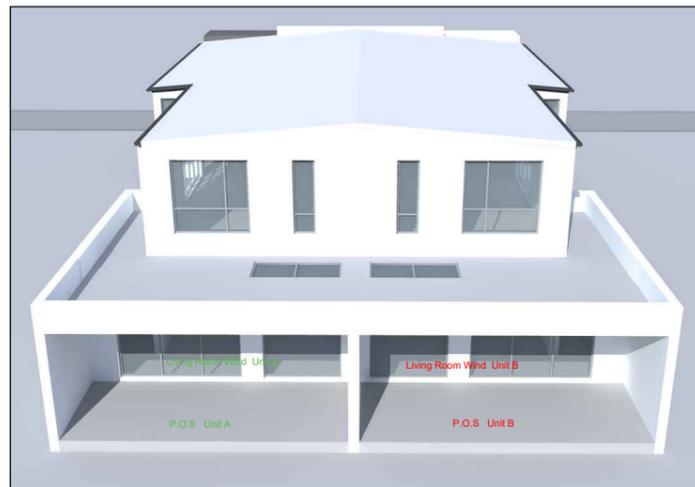
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9:00 am

10:00 am

11:00 am



12:00 noon



13:00 pm

14:00 pm

15:00 pm

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LOT32 DP36449

SOLAR ACCESS DIAGRAMS

scale:	@A3	date:	01/08/2022
drawing no.	11		

Rev.
UD2



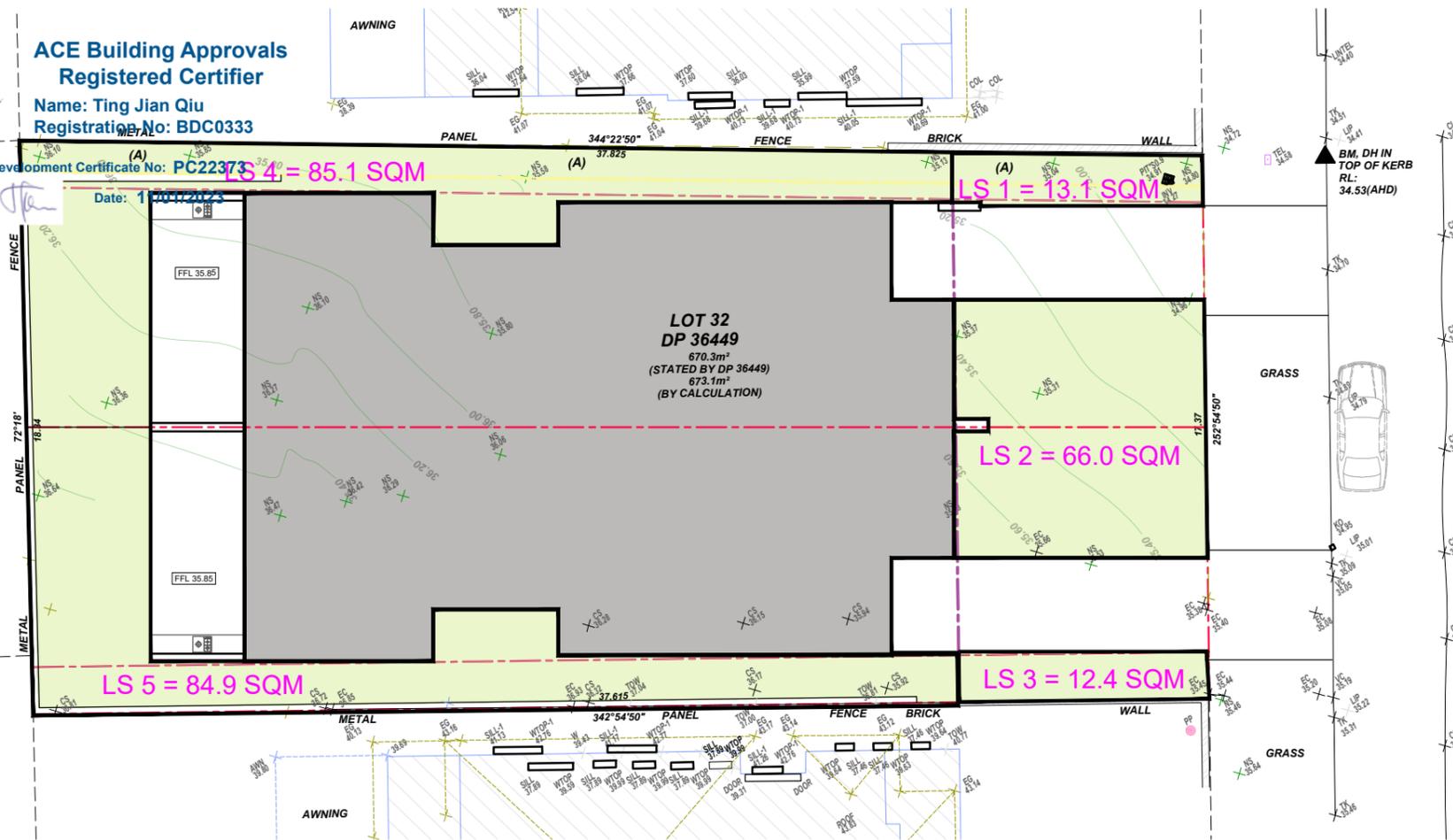


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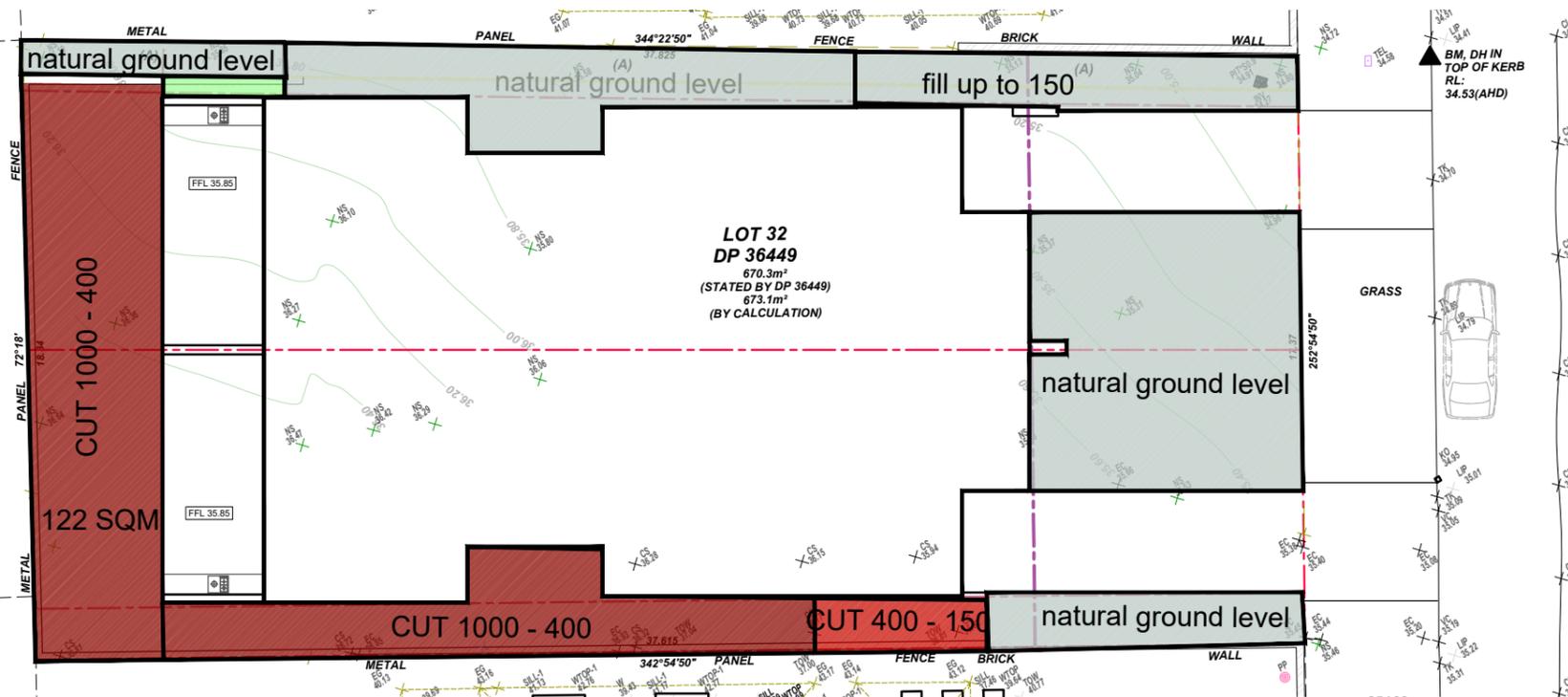
Complying Development Certificate No: PC22373

Signed: [Signature] Date: 11/01/2022



LANDSCAPING AREA :

LS1 + LS2 + LS3 + LS4 + LS5 = 13.1 + 66 + 12.4 + 85.1 + 84.9 = **261.5 SQM**
 MIN. LS REQUIRMENT : 673.1 / 2 - 100 = 236.55 SQM



CUT AND FILL PLAN:

CUT AND FILL OVER 150MM AREA: 122 SQM (46.6% OF TOTAL LS AREA)

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LOT32 DP36449

LS CALCULATION PLAN

scale: 1:200 @A3	date: 28/10/2022	Rev. CDC	
drawing no. 12			

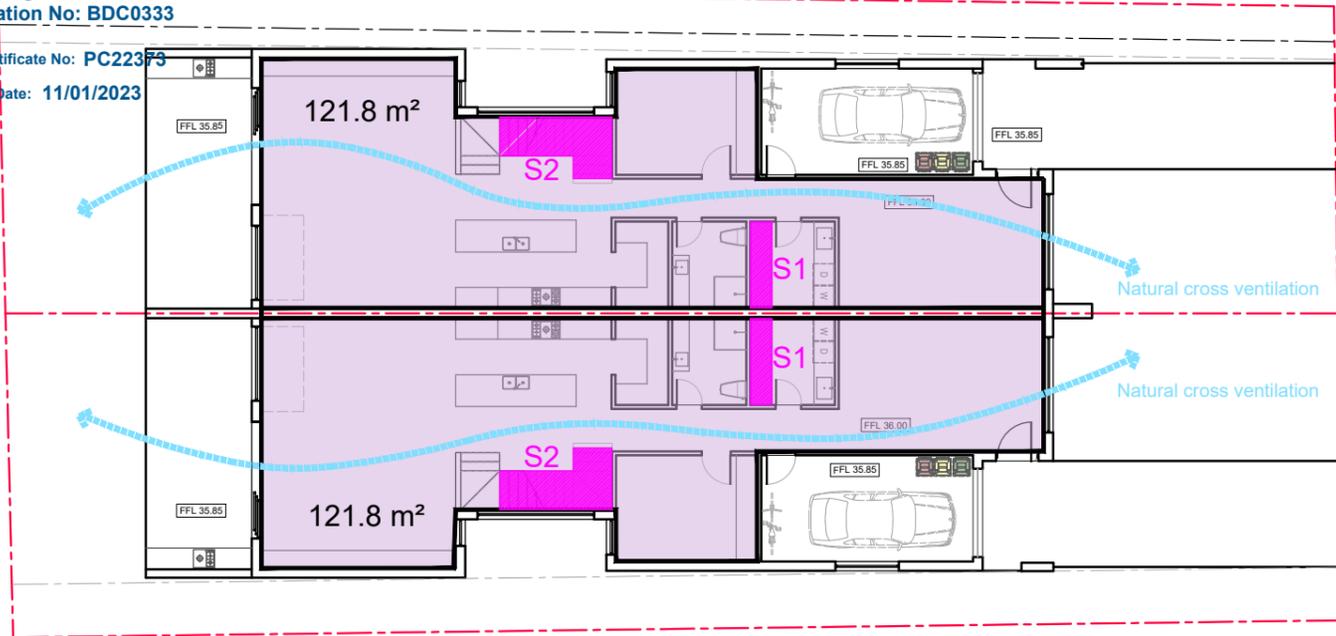


**ACE Building Approvals
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Name: Ting Jian Qiu
Registration No: BDC0333

Complying Development Certificate No: PC22375

Signed:  Date: 11/01/2023



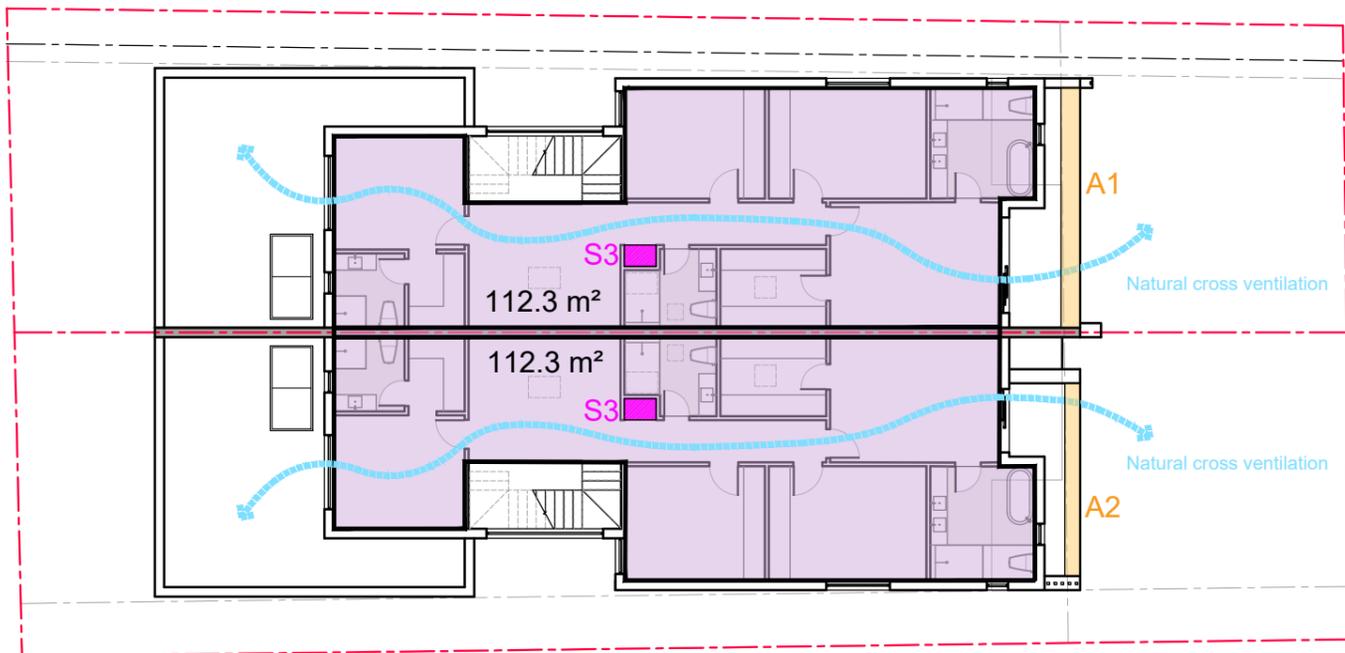
GLOSS FLOOR AREA :

$$121.8 + 121.8 + 112.3 + 112.3 = 468.2 \text{ m}^2$$

$$\text{MAX. GFA: } 673.1 / 4 + 300 = 468.275 \text{ m}^2$$

STORAGE AREA :

$$S1 + S2 + S3 = 4.3 + 6.6 + 1.4 = 12.3 \text{ m}^3 \text{ (MIN } 10 \text{ m}^3)$$



ARTICULATION ZONE :

$$A1 + A2 = 3.6 + 2.1 = 5.7 \text{ m}^2$$

$$\text{MAX : } 17.37 \times 1.5 \times 25\% = 6.51 \text{ m}^2$$

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CALCULATION PLANS

scale: 1:200 @A3	date: 28/10/2022
drawing no. 13	

Rev.
CDC

